



Fairways Mildura

Design Guidelines

Prepared by Mildura Golf Developments Pty Ltd

(Version 2 – March 2012)

Table of Contents

1. Definitions	3
2. Introduction	4
3. Site Layout and Building Massing	5
4. Dwelling Setbacks from Lot Boundaries	6
5. Building Materials and Finishes	6
6. External Dwelling Colour Palette	7
7. Roof Design and Materials	8
8. Garages and Car Parking	8
9. Vehicle Access to Lot and Dwelling.....	9
10. Lot Boundary Fencing	9
11. External Ancillary Buildings and Structures	10
12. Landscaping	10
13. Architectural Building Styles	11, 12
14. Architectural Review Committee and Approval Procedures	13
15. Design Approval Application Fee	15
16. Other Important Notes	15
17. Appendices:	16
(i) Building Design Guidelines and Procedures (Flow Chart diagram).....	16
(ii) Sketch Review Application Form - checklist	17
(iii) Design Guidelines – ARC Template – Site Plan	18
(iv) Design Guidelines – ARC Template – Floor Plans	
a. Lower Floor Plan	19
b. Upper Floor Plan	20
(v) Design Guidelines – ARC Template - Elevations	21
(vi) Design Guidelines – ARC Template – Diagrams	
a. Overlooking Diagram.....	22
b. Overshadowing Diagram	23

1. Definitions

In these Guidelines:

“Architectural Review Committee” means Fairways Mildura Architectural Review Committee, which is a committee appointed by the Original Developer for the purposes of assessing compliance of the Design Guidelines by Lot owners of Fairways Mildura.

“Common Property” means the areas set aside as such on the Plan of Subdivision.

“Design Guidelines” means Fairways Mildura Design Guidelines, which are design guidelines relating to dwellings, associated buildings and structures constructed on a Fairways Mildura residential Lot. The Design Guidelines are deemed part of the Owners Corporation Rules.

“Fairways Mildura” means the residential aspect of the Development.

“Golf Course” means any part of the Development used from time to time as a golf course.

“Lot” (or **“Lots”**) means a lot (or lots) shown on the Plan of Subdivision which is affected by the Owners Corporation.

“Original Developer” means Mildura Golf Developments Pty Ltd.

“Owners Corporation” means Owners Corporation 1 Plan of Subdivision No. 704104P.

2. Introduction

Nestled amongst an 18 hole championship golf course and associated resort facilities, Fairways Mildura residential estate provides a multi faceted lifestyle and unique living environment for its residents. A living environment that in addition to being ideally located only minutes from the Mildura city centre implements best practice; subdivision design, urban landscape, access and mobility management and integrated water management.

This Design Guidelines document specifically relates to the Fairways Mildura housing Lots. The Design Guidelines must be followed and adhered to by Lot owners to successfully achieve design approval from the Architectural Review Committee for their homes, associated ancillary buildings and structures.

The Design Guidelines are provided to ensure the housing in Fairways Mildura complements the neighbourhood character and promotes a resort living lifestyle. They are intended to enhance, not restrict dwelling choice. They will promote a modern architectural style where diverse use of materials, facade articulation and varying roof forms will be implemented.

Contemporary and innovative dwelling architecture which limits the overlooking and overshadowing of adjoining properties, and the general limiting of fencing, is the neighbourhood character that best suits the parkland nature of the Fairways Mildura surrounds.

The Design Guidelines will:

- Protect the integrity of the Fairways Mildura residential estate and the Mildura Golf Resort;
- Protect the investment of Lot owners of Fairways Mildura;
- Provide Lot owners, their architectural design consultant and builder a clear set of guidelines to follow to ensure a smooth building design and construction approval process;
- Provide dwelling design and dwelling material standards to be met to ensure all dwelling construction and associated ancillary construction is complementary to the unique amenity of the area; and
- Ensure a high quality lifestyle experience is available to all residents of Fairways Mildura and the patrons of the Mildura Golf Resort.

3. Site Layout and Building Massing

- a. Dwellings must be sited and designed to be energy efficient (achieve a minimum 6 star energy rating).
- b. Dwellings must be sited and designed to ensure that the energy efficiency of existing dwellings on adjoining Lots is not unreasonably reduced.
- c. Site area covered by buildings must not exceed 60%.
- d. At least 20 % of the site must not be covered by impervious surfaces.
- e. Where a Lot has two road frontage boundaries the dwelling must display dwelling frontage characteristics to both boundaries.
- f. Dwellings on Lots with rear boundaries adjacent to the golf course (including water features) must display dwelling frontage characteristics to both the golf course boundary and the road boundary.
- g. For Lots less than 450 square metres, the minimum total floor area of a dwelling is 150 square metres. If the dwelling is double storey, the ground storey of the dwelling must be a minimum total floor area of 115 square metres.
- h. For Lots greater than 450 square metres, the minimum total floor area of a dwelling is 180 square metres, except for Lots 1 to 8 (both inclusive) and Lots 16 to 21 (both inclusive) where the minimum total floor area of a dwelling is 150 square metres. The Architectural Review Committee may consider very minor variations to these total floor area provisions on architectural merit grounds.
- i. The total floor area of a dwelling includes the external walls and all liveable areas but excludes garages, verandas and other enclosed areas.
- j. Dwellings must be no more than two storeys and 9 metres above the natural ground level.
- k. To ensure articulation is provided to a double storey dwelling, the upper floor area must be less than the ground floor area.

4. Dwelling Setbacks from Lot Boundaries

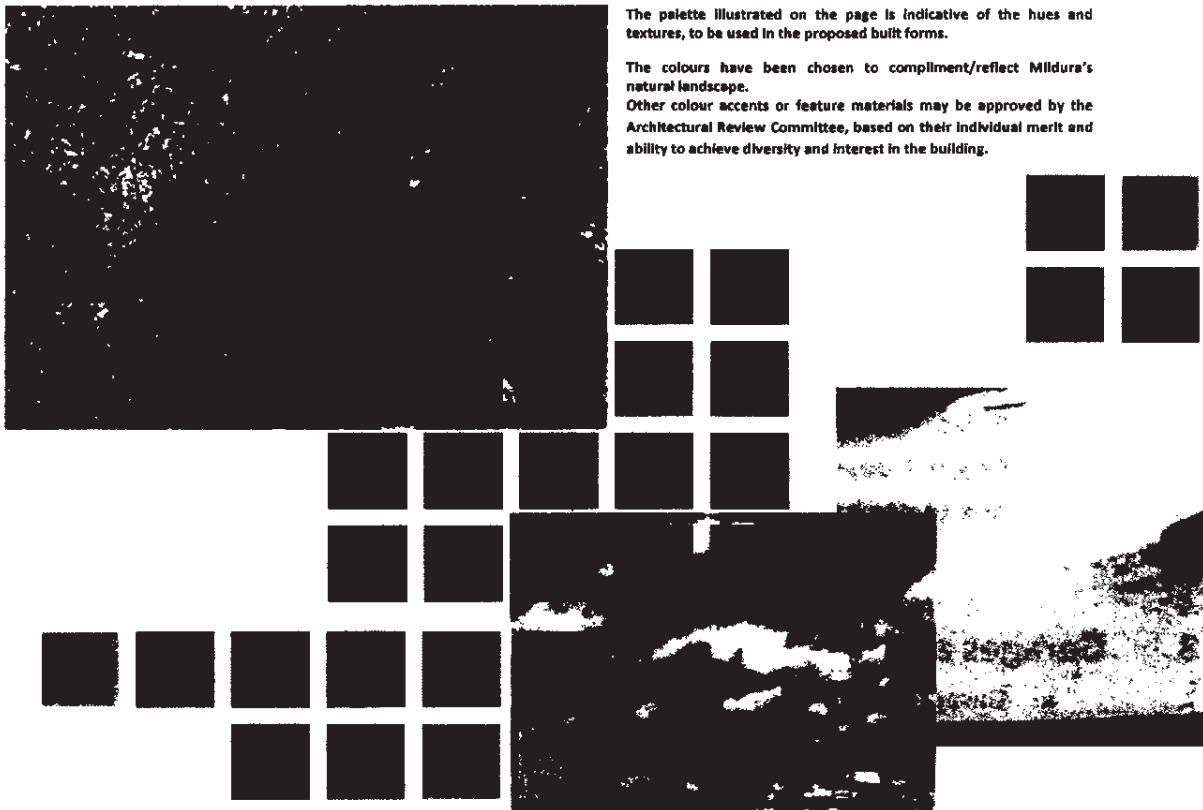
- a. Minimum 4 metres and maximum 5 metres for single road frontage Lots, except for Lots 2 to 7 (both inclusive), Lot 14, Lot 15, Lots 17 to 20 (both inclusive) and Lot 71 where a minimum 3.5 metres and maximum 4.5 metres applies.
- b. Where a Lot fronts two roads, minimum 4 metres and maximum 5 metres from the smaller street frontage dimension and a minimum of 2 metres from the larger street frontage dimension.
- c. Minimum 2 metres where a side boundary is adjacent to the golf course or common property area used for passive open space (park). The Architectural Review Committee will consider variations to this setback provision on a merit basis.
- d. Minimum 4 metres from a rear boundary that is adjacent to the golf course or water feature.
- e. Minimum 2 metres for a rear boundary adjacent to another housing lot rear boundary. As part of this provision the dwelling design must limit the impact on the amenity of any adjoining existing or future dwellings.
- f. Minimum 3 metres from a rear boundary adjacent to a side boundary.
- g. Minimum 3 metres from a splay.
- h. Where a side boundary is adjacent to another side boundary the setback of a dwelling must respect the neighbourhood character and limit the impact on the amenity of existing and future dwellings. Refer Clause 54.04 of the Mildura Planning Scheme for compliance details.

5. Building Materials and Finishes

- a. The external walls of dwellings must be constructed predominantly (at least 30% for double storey dwellings) with brick (or like material).
- b. Dwellings must use a combination of wall materials to achieve visual lightness and articulation. Uninterrupted use of conventional brickwork is prohibited.
- c. Highly reflective window glass is prohibited.
- d. Use of second hand building materials for the exterior of any dwelling is prohibited.
- e. Relocated and / or pre-manufactured dwellings are prohibited.

6. External Dwelling Colour Palette

- a. The palette illustrated on this page is indicative of the hues and textures to be used. The colours have been chosen to complement and reflect Mildura's natural landscape.
- b. Other colour accents may be approved by the Architectural Review Committee based on their individual merit and ability to achieve diversity and interest in the building.



7. Roof Design and Materials

- a. The roof must complement the style of the dwelling.
- b. Due to resilience, colorbond roofs are preferred over other materials. Other materials such as masonry and terracotta tiles can be approved by the Architectural Review Committee provided such roofing complements the style of the dwelling and the Lot owner indemnifies the Original Developer and operator of the Mildura Golf Resort of any damage due to site hazards including errant golf balls.
- c. Roof colour must complement the external colour of the dwelling.
- d. Flat roofs on double storey dwellings may be used, but in such cases it must complement the style of the dwelling and be to the satisfaction of the Architectural Review Committee.
- e. On single storey dwellings roof pitches must be between 18 and 25 degrees, although flat roofs may be incorporated in places to form composition and give character as long as it is not dominate and is to the satisfaction of the Architectural Review Committee.
- f. All gutters and downpipes must be pre-finished or painted to complement the roofing.
- g. Any ancillary structures attached to roofs, such as satellite dishes and antennae's, must be located in accordance with the Owners Corporation Rules. In respect to ancillary structures, the Lot owner indemnifies the Original Developer and operator of the Mildura Golf Resort of any damage due to site hazards including errant golf balls.

8. Garages and Car Parking

- a. Garages must be setback behind the main building frontage.
- b. Freestanding garages are allowed but must complement the design of the dwelling (similar walls, roof forms, colours and materials) and that of any adjoining dwelling.
- c. Garages that are not freestanding must be under the main roof of the house.
- d. Garages must have lockable doors, with the doors being setback a minimum of 230mm from the front wall of the garage.
- e. Panel lift doors should be used with materials and colours compatible to the dwelling design.
- f. Two car spaces must be provided per dwelling. Both car spaces must be provided inside a garage that has a minimum internal width measurement of 5.5 metres.
- g. Carports are prohibited.

9. Vehicle Access to Lot and Dwelling

- a. The construction of driveways from the road pavement to the front Lot boundary is the responsibility of the Lot owner. The profile of this driveway must accord with the natural surface and the specifications noted on the civil engineering plans for Fairways Mildura.
- b. The construction of the driveway from the road pavement to the garage must be constructed within three months of the Certificate of Occupancy being issued.
- c. Driveways must be constructed using exposed aggregate. The colour of the driveway must be grey unless the Architectural Review Committee approves the use of another neutral colour.

10. Lot Boundary Fencing

- a. Fencing design, types, locations and materials used will all be subject to approval by the Architectural Review Committee.
- b. A fencing plan must be submitted as part of the dwelling design plans.
- c. Fencing must not be visually dominant.
- d. Front fencing (abutting a road) is prohibited.
- e. Any rear fencing adjacent to water features or the golf course must be constructed using non reflective pool fence glass with silver pearl coloured posts and be no more than 1.2 metres in height.
- f. The rear 4 metres of side boundaries of Lots that have rear boundaries adjacent to water features or the golf course must not be solid or more than 1.2 metres in height. Lightweight fencing to support boundary plantings is encouraged.
- g. To enhance the integration of dwellings into the landscape, fences must finish at least 1 metre behind the front dwelling building line unless the fence is considered integral with the building design by the Architectural Review Committee.
- h. Where a housing Lot adjoins another housing Lot the rear and side boundary fencing must not exceed 1.8 metres in height. Lightweight non solid fencing to support boundary plantings is encouraged.
- i. Sections of masonry walls will be considered by the Architectural Review Committee where the finish matches and blends with wall finishes of the dwelling.
- j. The use of colorbond fencing within 10 metres of a front road boundary is prohibited.
- k. To ensure uniformity of fencing and to enhance the aesthetic look of the Twelfth Street frontage of the Mildura Golf Resort, brush fencing of the rear boundaries of Lots 1 to 7 (both inclusive), will be constructed by and at the expense of the Original Developer.

- I. Lot owners of the housing Lots in Fairways Mildura agree to pay all costs associated with the construction and maintenance of fencing on Lot boundaries adjoining Common Property and Golf Course land. In addition to this, the Lot owner agrees to indemnify the Original Developer and operator of the Mildura Golf Resort of any damage to fencing due to site hazards including errant golf balls.

11. External Ancillary Buildings and Structures

- a. Storage should generally be provided within garages and dwellings. Separate outbuildings such as garden sheds will only be considered where they are not visible from areas and are designed to complement the dwelling.
- b. Roof mounted plant must be discreetly located and accord with the Owners Corporation Rules.
- c. Clotheslines and rainwater tanks must not be visible from the Common Property, Golf Course or any other Lot. Rainwater tanks must be kept in colours and a style that complements the dwelling design.
- d. Solar hot water tanks must be located on the ground out of public view and the panels discreetly located to the satisfaction of the Architectural Review Committee.
- e. Verandas, pergolas, integrated garden walls and other external shading devices are encouraged to provide shelter and solar protection. They provide an opportunity to define entries, enhance external space and provide architectural detail. These structures must complement the design and colour of the dwelling and must be at a setback and height that limits the impact on the amenity of existing and future dwellings.
- f. Letter Boxes must be designed to complement and match the dwelling. Letterboxes must be shown on design plans submitted.
- g. The use of colorbond fencing for internal convenience fencing is prohibited.

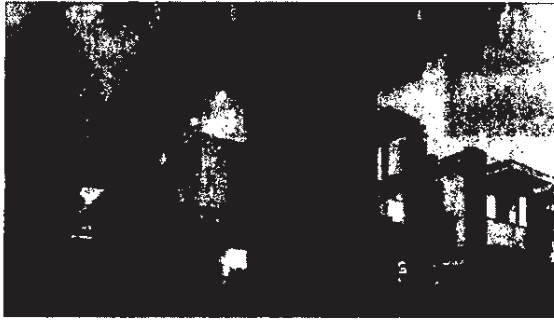
12. Landscaping

- a. Landscaped nature strips (area between road pavement and individual Lot front boundaries) have been provided by the Original Developer. To maintain the high level and consistency of the landscaped nature strips Lot owners must not damage any of the vegetation or associated irrigation infrastructure. The maintenance and upkeep of the nature strips is the responsibility of the Owners Corporation.
- b. The landscaping from the front Lot boundary to the front of the dwelling must be completed by the Lot owner within 3 months of the Certificate of Occupancy being issued.
- c. All Lot owners are obligated to protect any street tree immediately adjoining their property during construction.
- d. Native gardens with indigenous plants are encouraged to reduce potable water use.

13. Architectural Building Styles

The following dwelling style examples give a clear indication of the contemporary dwelling styles that are encouraged and the dwelling styles that are not permitted.

Building styles - Contemporary Designs encouraged



Building styles not permitted



(Federation)



(Pioneer – Ranch Style)



(Colonial)



(Neo-Georgian)



(Classical)



(Overly fenestrated)

14. Architectural Review Committee and Approval Procedures

The Architectural Review Committee (ARC) has been appointed by the Original Developer to assess applications for proposed buildings to ensure they are in accordance with the Design Guidelines.

Architectural Review procedure

- (1) The approval process includes a compulsory pre-building permit assessment stage administered by the ARC. Such approval is a pre-condition to the Lot owner making application for a building permit.
- (2) The ARC approval must be gained for all "Building Works". "Building Works" are defined as:
 - (i) Any proposed external construction alterations, additions/extensions and/or repairs to the dwelling or associated building; and
 - (ii) Any construction, alterations or additions to any fence, retaining walls, exterior lighting, driveway or recreational structure.
- (3) The Lot owner acknowledges that ARC decisions are subject to compliance with the local and/or any other authority requirements.
- (4) In the event that the ARC grants a variation from the Design Guidelines, such variation will neither set a precedent nor imply that such an approval will be necessarily repeated.
- (5) The Lot owner must submit three (3) copies of required documents and drawings. All documents must include the street address, Lot owners name and the date.

Review Steps

Refer to Flow Chart diagram (refer Appendix i)

Step 1 - Review Documents

Before proceeding the Lot owner must have reviewed the following documents;

- (i) Design Guidelines
- (ii) The Approval Procedure.

Step 2 - Sketch Review

The Lot owner must provide the following;

- (i) Sketch Review Application Form (refer Appendix ii)
- (ii) Schematic Design Drawings as outlined;

Site Plan - drawn to 1:200 scale (refer Appendix iii)

- inclusive of title dimensions, north point, building footprint, all service equipment, driveways, paving and landscaping in accordance with the Design Guidelines.

Floor Plan - drawn to 1:100 scale (refer Appendix iv)

- inclusive of overall dimensions of dwelling, room names, roof line and overhangs, area of dwelling and outbuildings for both lower and upper story (if applicable)

Elevations - 1:100 scale (refer Appendix v)

- showing ceiling heights, overall building height, colours and materials used.

Note:- Overlooking and Overshadowing (refer Appendix vi)

- Diagrams - drawn to 1:100 scale are required for dwellings that have any portion of a two storey living element in the design.

If there are any proposed variances to the Design Guidelines the Lot owner must submit a description of the variances with accompanying justification documentation.

The ARC may approve any variances, make recommendations to modify the design or may deny approval to proceed with a Building Permit Application, as it deems appropriate.

Step 3 - Construction Review

This review checks the construction documents for compliance with the Design Guidelines and verifies that recommendations made at the Sketch Review in Step 2 have been incorporated. The ARC will stamp the drawings upon approval from the relevant Building Surveyor/Authority.

Any breach of the Design Guidelines will be acted upon as set out in the Owners Corporation Rules.

15. Design Approval Application Fee

The applicable application fee for the approval of designs by the Architectural Review Committee must be submitted with the application and is non refundable (refer separate "Schedule of Fees" document in Section 32 of the Contract of Sale).

Cheques must be made out to **"The Secretary – Architectural Review Committee"**. Upon lodgement of this fee and all other information the application will be processed and a receipt shall be issued to the applicant if requested along with the approved application.

The Application and Fee is to be forwarded to:

**Fairways Mildura Architectural Review Committee
C/- Quantum United Management Pty Ltd
Level 1, 92 Railway Street South
Altona Beach
Vic. 3018**

The Architectural Review Committee will endeavour to assess applications in a timely manner and will generally be within 21 days of receipt of the fully completed application. Should applications require amendments the application will need to be resubmitted and an additional 14 days will be needed to reassess the application. There will be no additional assessment charges if requested amendments are minor.

Upon receipt of approval from the Architectural Review Committee the Applicant must obtain approval of the building plans from a Building Surveyor or Council.

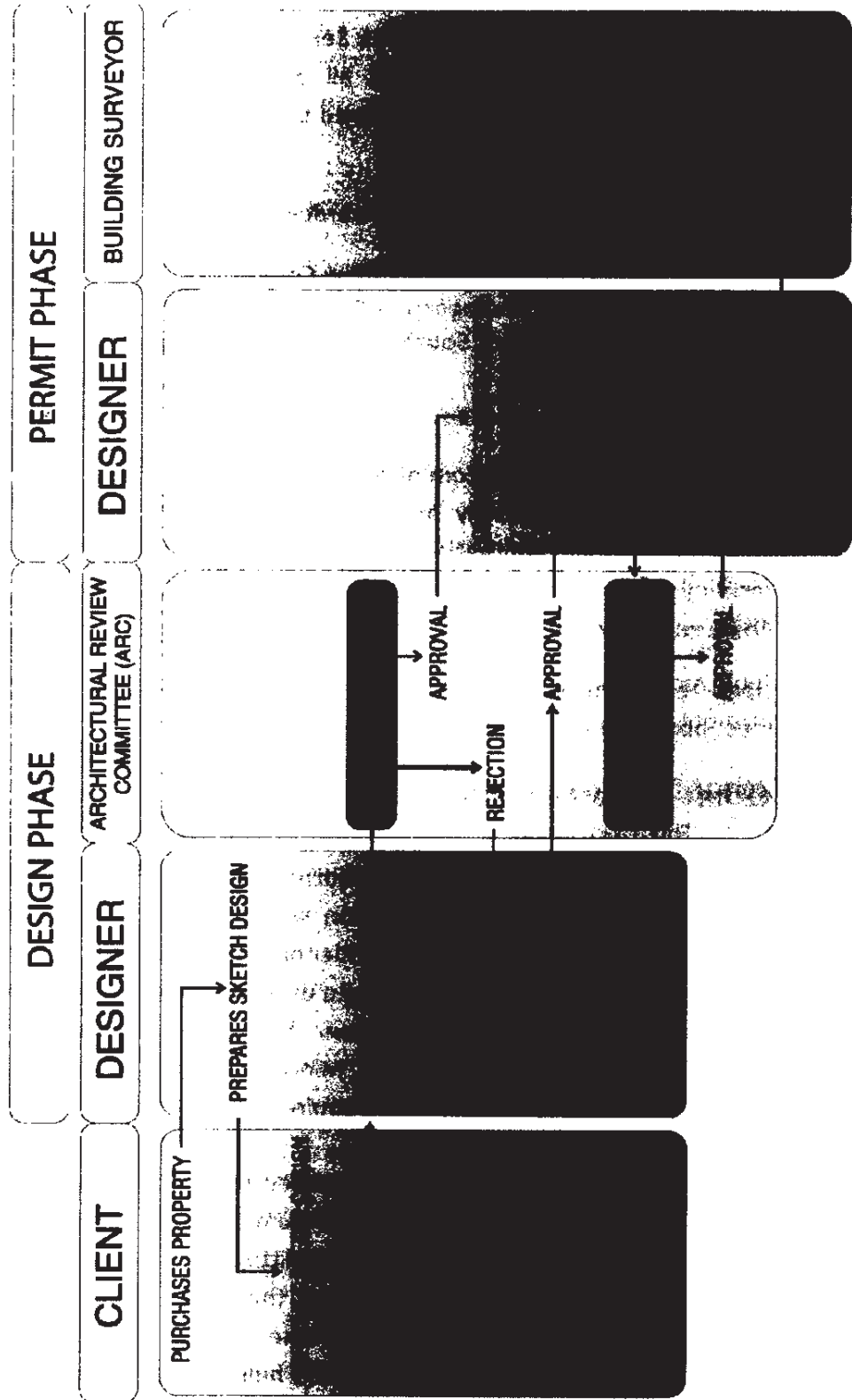
16. Other Important Notes

- a) This document is deemed to form part of the Owners Corporation Rules associated with Plan of Subdivision PS704104P. As such, this document should be read in conjunction with the Owners Corporation Rules, where additional Lot owner and builder obligations can be found.
- b) Only one main building being a dwelling will be allowed on each housing Lot sold by the Original Developer. Further subdivision of Lots sold to create additional Lots is prohibited. Minor realignment of boundaries between Lots is not prohibited but does require the approval of the Architectural Review Committee.
- c) All decisions of the Architecture Review Committee are final and any appeals will not be entertained unless circumstances are deemed to be extraordinary by the Architectural Review Committee.
- d) The Original Developer reserves the right to make minor changes to the Design Guidelines from time to time.
- e) Changes to the dwelling, ancillary buildings and structures without obtaining approval from the Architectural Review Committee will result in the dwelling being considered non compliant.

17. Appendices:

(i) Building Design Guidelines and Procedures (Flow Chart diagram)

Building Design Guidelines and Procedures (Flow Chart diagram)



(ii) Sketch Review Application Form - checklist

Sketch Review Application Form - checklist

Applicant's Name

Contact Details

Postal Address

Site Address

Building Designer

Contact Details

ARC Review Documentation

Site Plan - 1:200

North point

☐

Title dimensions

☐

Building setbacks shown

☐

Overhangs shown

☐

Location of parking and garages

☐

Driveways and paths

☐
Landscaping -
(in accordance with the schedule)
☐
Fence type and locations
(in accordance with Design Guidelines)
☐

Floor Plan - 1:100

Overall dimensions of dwelling

☐

North point

☐

Room names

☐

Areas of dwelling and outbuildings

☐

Roof line and overhangs

☐

Elevations - 1:100

4 Elevations

☐

Ceiling heights

☐

Colour schedule

☐

Materials schedule

☐

Two storey applications only

Overshadowing Diagram - 1:100

Site plan & building envelope

☐

North point

☐

Neighbouring properties footprint

☐
Overshadowing showing 10am-3pm
projections on September 22
☐

Private open space areas and calculations

☐

Overlooking Diagram - 1:100

Site plan & building envelope

☐

Neighbouring properties footprint

☐

Overlooking viewing arcs

☐

Neighbours private open space areas

☐

(iii) Design Guidelines – ARC Template – Site Plan

Design Guidelines - ARC Template Example only**FENCING TYPES**

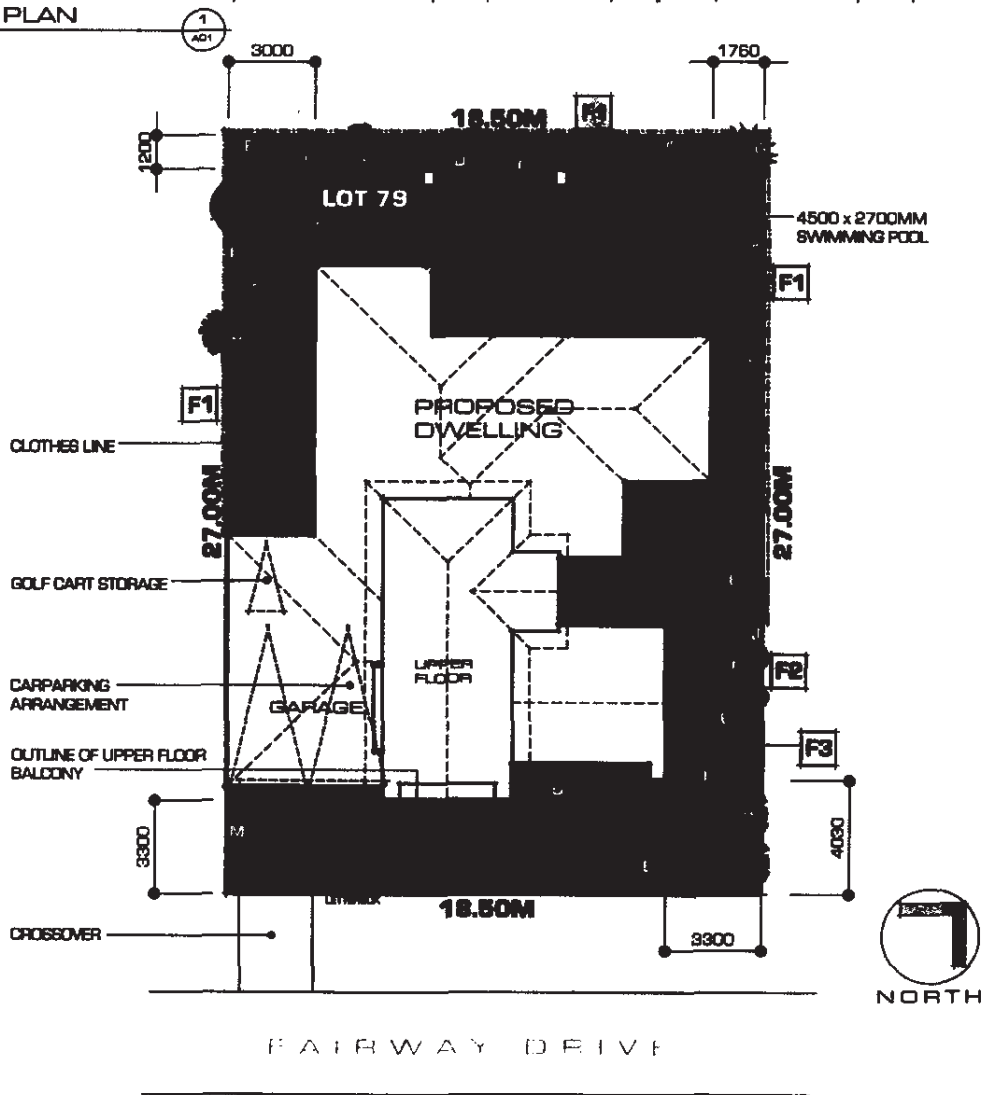
- F1** 1850MM COLORBOND PANELED
- F2** 1850MM HIGH POST AND WIRE
- F3** 1850MM BRUSH PANEL

LANDSCAPE SCHEDULE

SYMBOL	DESCRIPTION	TYPE	BOTANICAL NAME	HEIGHT	SYMBOL	DESCRIPTION	TYPE	BOTANICAL NAME	HEIGHT
A	WIRE BOLLARD WHITE	WIR	ADONIS FLORIBUNDA	750	I	MAJESTIC BLUE FLOWER	ROUND CORNER	HAIRY BLUE CORN	850
B	MURRAY'S MAJESTIC BLUE	WIR	ELONIPPE DIVERGENTIA	850	J	STICKY SCOTCH	ROUND CORNER	COCCINIA VERA	850
C	BOLDLY WHITE	SHRUB	ADONIS ADONIS	1000	K	SPRING RAKLEY	ROUND CORNER	SAFETY REVOLUTA	1000
D	BOLDLY WHITE	SHRUB	ADONIS ADONIS	1000	L	TURFING BUSH	ROUND CORNER	SPRING REVOLUTA	1000
E	MAJESTIC	SHRUB	ADONIS ADONIS	1000	M	SPRING RAKLEY	ROUND CORNER	SAFETY REVOLUTA	1000
F	SPRING RAKLEY	SHRUB	ADONIS ADONIS	1000	N	SPRING RAKLEY	ROUND CORNER	SAFETY REVOLUTA	1000
G	SPRING RAKLEY	SHRUB	ADONIS ADONIS	1000	O	SPRING RAKLEY	ROUND CORNER	SAFETY REVOLUTA	1000
H	WIRE BOLLARD WHITE	SHRUB	ADONIS ADONIS	1000	P	SPRING RAKLEY	ROUND CORNER	SAFETY REVOLUTA	1000

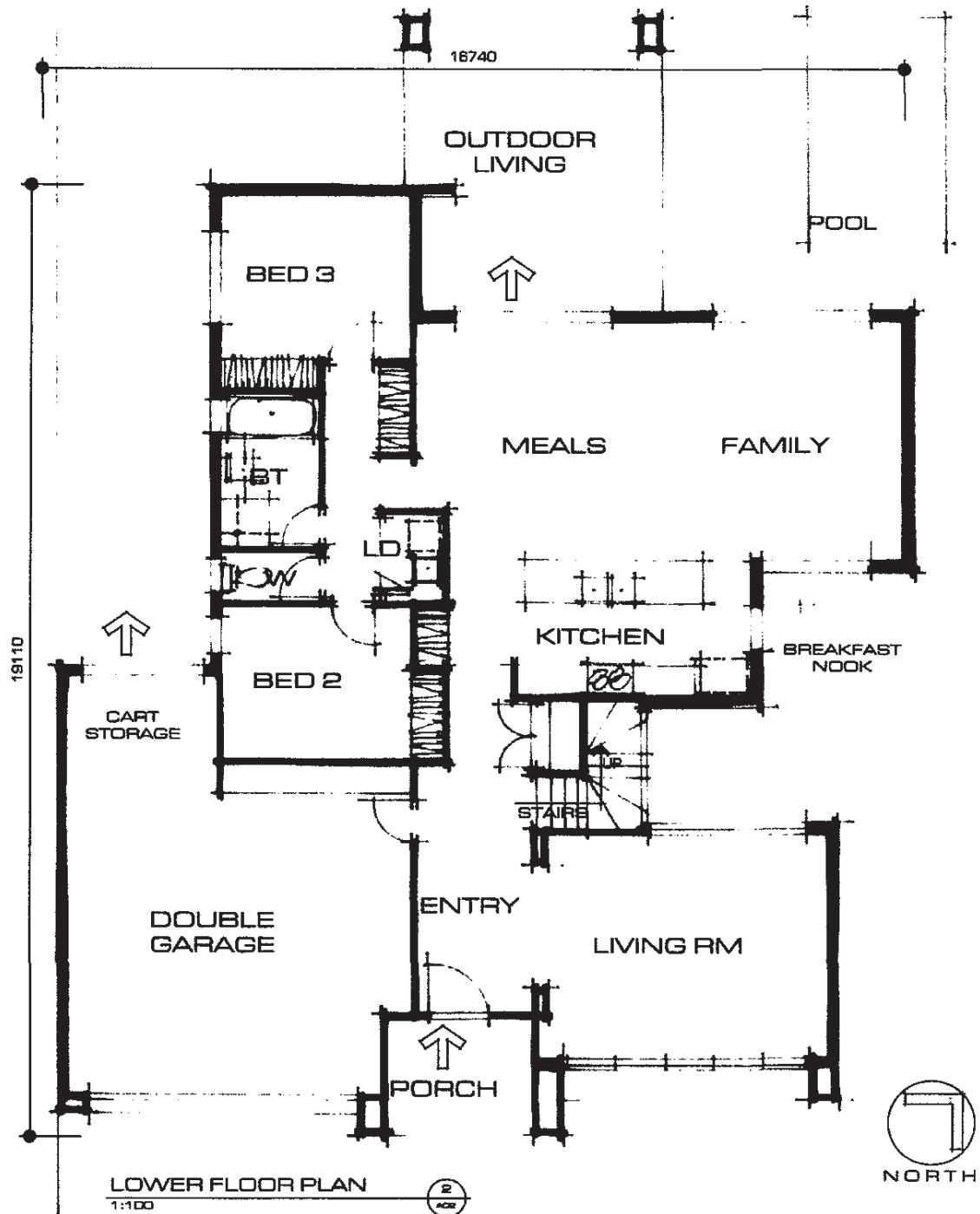
SITE PLAN

1:200

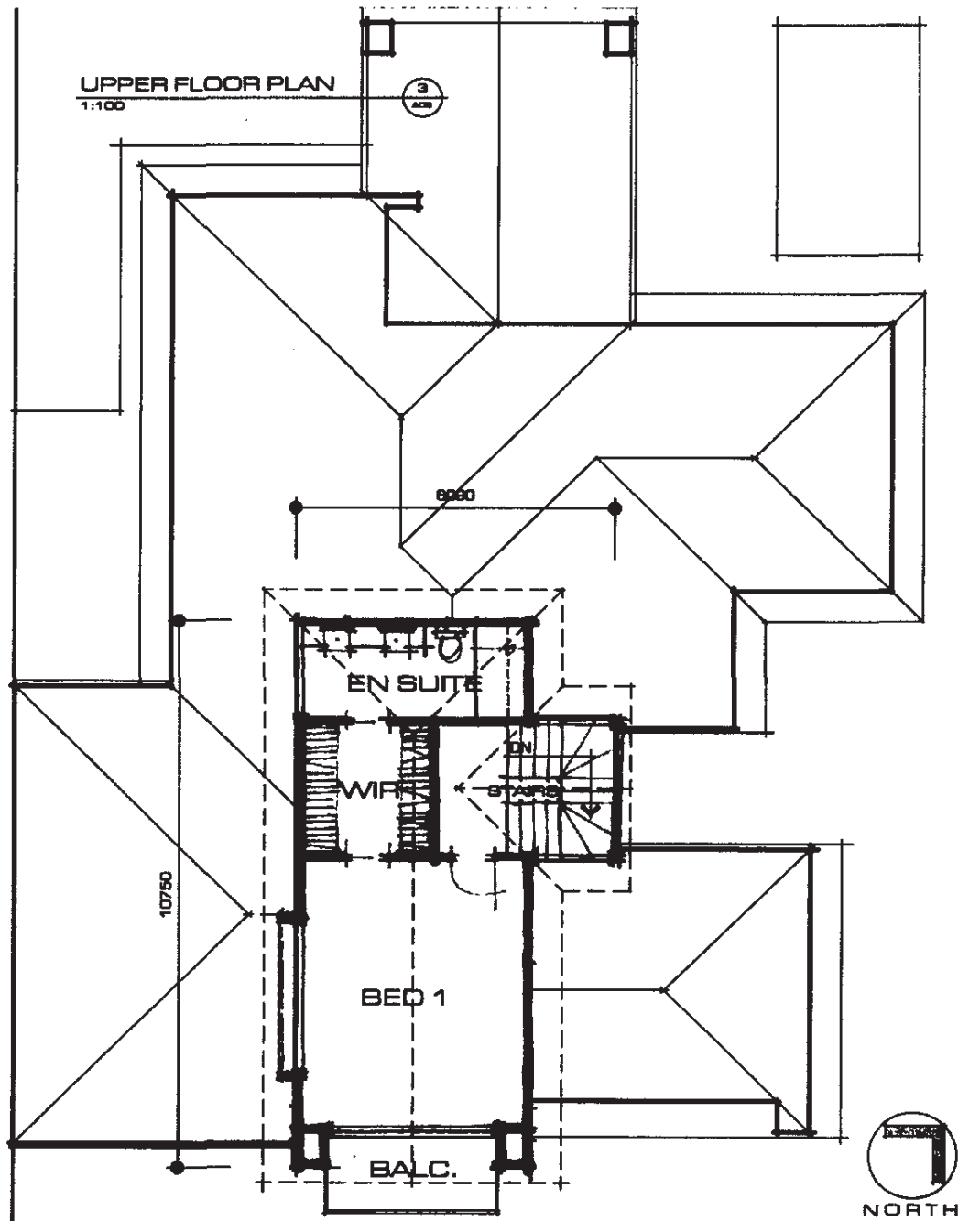


- (iv) Design Guidelines – ARC Template – Floor Plans
 a. Lower Floor Plan

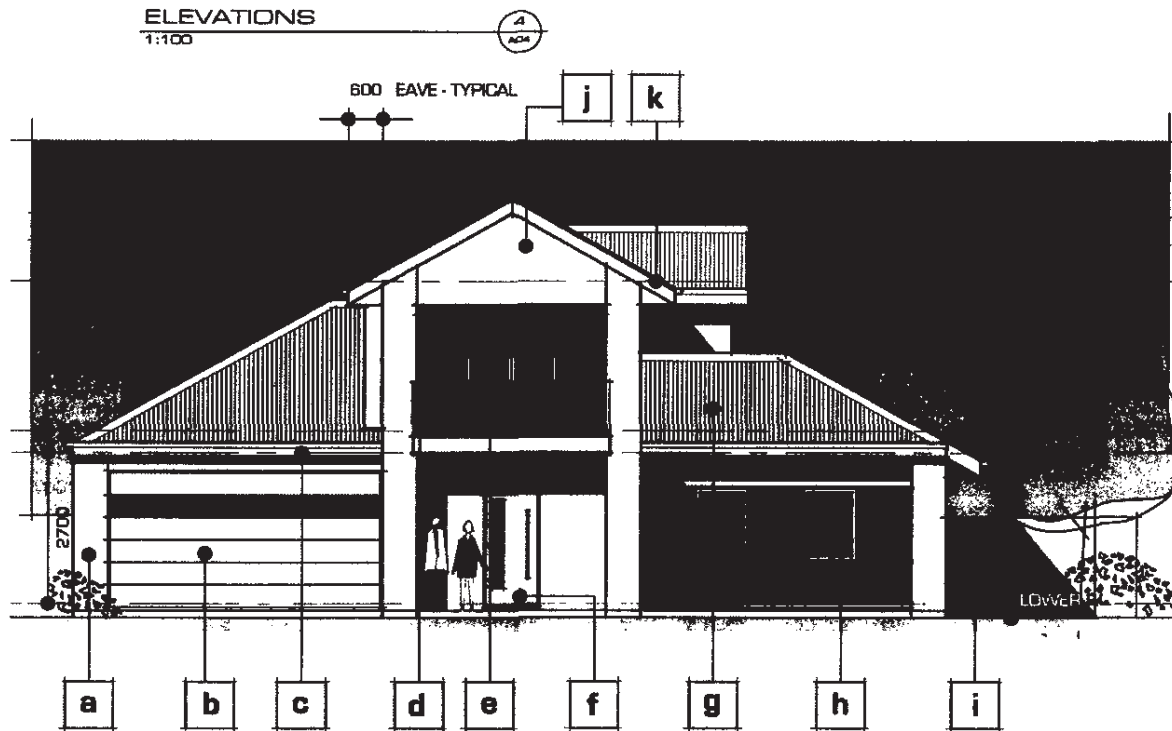
Design Guidelines - ARC Template Example only



b. Upper Floor Plan

Design Guidelines - ARC Template Example only

(v) Design Guidelines – ARC Template - Elevations

Design Guidelines - ARC Template Example only

*PLEASE NOTE - FOUR ELEVATIONS ARE REQUIRED FOR THE PURPOSE OF THE ARCHITECTURAL REVIEW COMMITTEE FOR ASSESSMENT

MATERIALS SCHEDULE

SYMBOL	DESCRIPTION	COLOR
a	RENDERED MASONRY WALLING	PAPERBARK
b	2400MM HIGH PANEL-LIFT BESPAUNTED DOOR WITH HIGHLIGHT WINDOW	SANDSTONE
c	COLORBOND FASCIA & BUTTER	BUSHLAND
d	1000MM HIGH BUTT JOINED GLASS BALUSTRADE	SMOKED GREY
e	ALUMINIUM POWDERCOATED SLIDING DOOR UNIT	DEEP OCEAN
f	FEATURE ENTRY DOOR WITH GLAZED PANEL	SANDSTONE
g	COLORBOND CORRUGATED ROOFING @ 30 DEGREE PITCH	DEEP OCEAN
h	ALUMINIUM POWDERCOATED AWNING WINDOWS	DEEP OCEAN
i	1800MM HIGH BRUSH PANEL FENCING	TIMBER
j	HARDBOARD COMPRESSED SHEET CLADDING TO UPPER FLOOR PORTIONS	PAPERBARK
k	COLORBOND BARGE BOARDS	BUSHLAND

COLOUR SAMPLES

	WALL COLOR - DULUX "PAPERBARK" PAINT FINISH
	TRIM COLOR - DULUX "SANDSTONE" PAINT FINISH
	ALUMINIUM POWDERCOAT COLOR - DULUX "DEEP OCEAN"
	COLORBOND ROOF CLADDING - DULUX "DEEP OCEAN"
	COLORBOND GUTTERING AND FASCIA - DULUX "BUSHLAND"

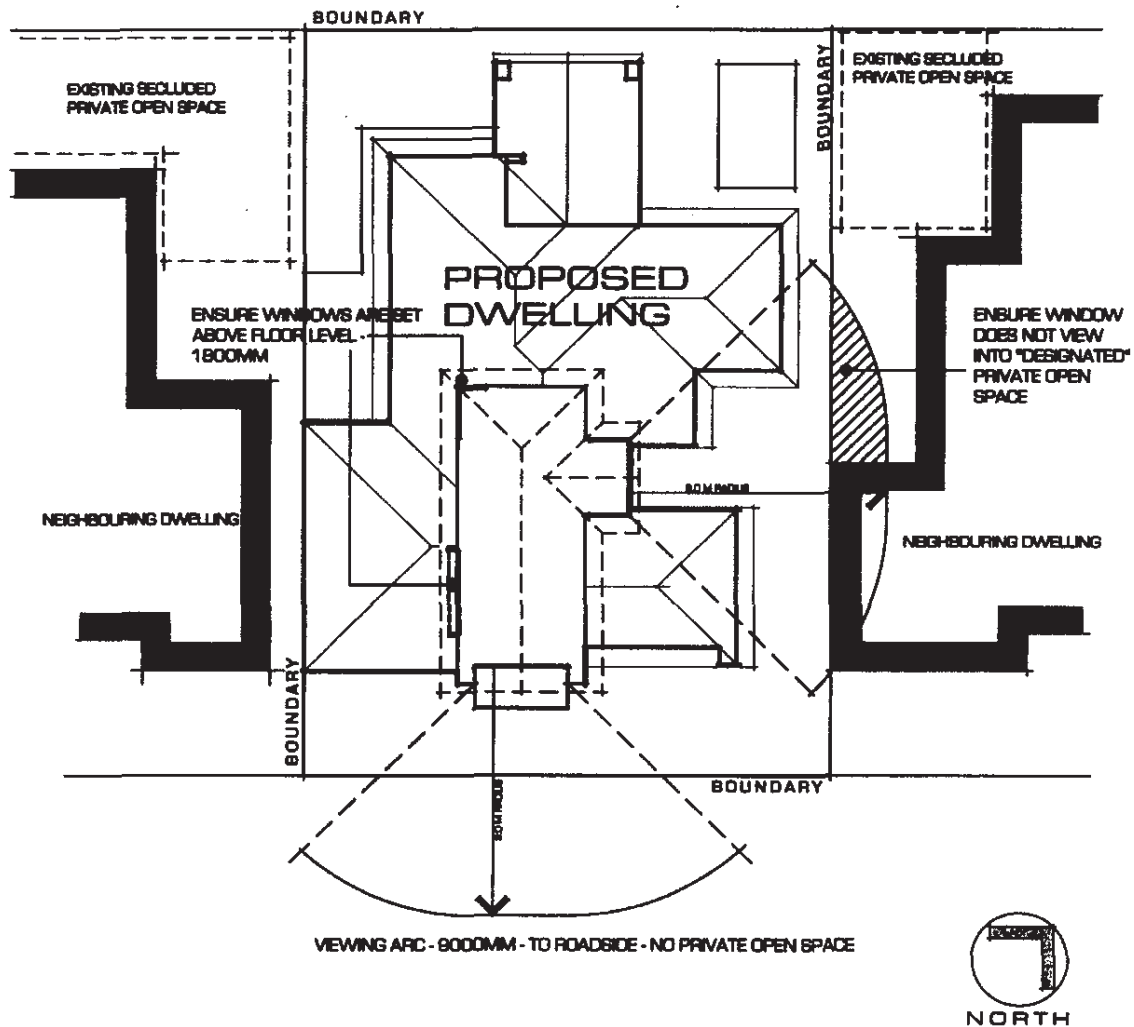
*COLORS SHOWN MAY NOT ACCURATELY REFLECT MATERIAL COLOUR SPECIFIED. CHECK SAMPLES FOR FINAL ASSESSMENT REQUIREMENT.

- (vi) Design Guidelines – ARC Template – Diagrams
a. Overlooking Diagram

Design Guidelines - ARC Template Example only

OVERLOOKING DIAGRAM 
1:500

*PLEASE NOTE - THE OVERLOOKING AND OVERSHADOWING DAIGRAM INFORMATION IS NOT REQUIRED FOR SINGLE STOREY DWELLINGS



b. Overshadowing Diagram

Design Guidelines - ARC Template Example onlyOVERSHADOWING DIAGRAM
1:200

* PLEASE NOTE - THE OVERLOOKING AND OVERSHADOWING DAIGRAM INFORMATION IS NOT REQUIRED FOR SINGLE STOREY DWELLINGS

